

CALIFORNIA BUILDER SERVICES

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RESERVE ANALYSIS REPORT



Dana by The Sea
Steet of the Blue Lantern & Alta Vista Dr.
Dana Point, CA 92629



Full Study | FY25/26

August 29, 2025



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Dana by The Sea

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**Assessment and Reserve Funding Disclosure Summary
for the Fiscal Year Ending 2025**

(1) The average assessment per ownership interest is **\$925.57** per Month. Note: If assessments vary by the size or type of ownership interest, the assessment applicable to this ownership interest may be found on page **2-1** of the attached summary.

(2) Additional regular or special assessments that have already been scheduled to be imposed or charged, regardless of the purpose, if they have been approved by the board and/or members:

Date Assessment Will Be Due:	Amount Per Ownership Interest Per Month or Year (If Assessments Are Variable, See Note Immediately Below):	Purpose Of The Assessment:
	None	
	None	
	None	
	Total:	

(3) Based upon the most recent reserve study and other information available to the board of directors, will currently projected reserve account balances be sufficient at the end of each year to meet the association’s obligation for repair and/or replacement of major components during the next 30 years?

Yes X No _____

(4) If the answer to (3) is no, what additional assessments or other contributions to reserves would be necessary to ensure that sufficient reserve funds will be available each year during the next 30 years that have not yet been approved by the board or the members?

Approximate Date Assessment Will Be Due:	Amount Per Ownership Interest Per Month or Year:
N/A	N/A
	Total:

(5) All major components are included in the reserve study and are included in its calculations.

(6) Based on the method of calculation in paragraph (4) of subdivision (b) of Section 5570, the estimated amount required in the reserve fund at the end of the current fiscal year is \$630,939, based in whole or in part on the last reserve study prepared by Golden Consulting Group as of June 2022. The projected reserve fund cash balance at the end of the current fiscal year is \$406,438, resulting in reserves being 64% funded at this date.

(7) Based on the method of calculation in paragraph (4) of subdivision (b) of Section 5570 of the Civil Code, the estimated amount required in the reserve fund at the end of each of the next five budget years is:

Year	Estimated Reserve Amount Required
2025	\$630,939
2026	\$755,280
2027	\$772,843
2028	\$642,600
2029	\$719,813

If the reserve funding plan approved by the association is implemented, the projected reserve fund cash balance in each of those years will be:

Year	Projected Reserve Fund Balance	Percent Funded
2025	\$406,438	64%
2026	\$513,964	68%
2027	\$515,685	67%
2028	\$376,545	59%
2029	\$442,979	62%

Note: The financial representations set forth in this summary are based on the best estimates of the preparer at that time. The estimates are subject to change. At the time this summary was prepared, the assumed long-term before-tax interest rate earned on reserve funds was 0.01% per year, and the assumed long-term inflation rate to be applied to major component repair and replacement costs was 4.5% per year.

(b) For the purposes of preparing a summary pursuant to this section:

- (1) “Estimated remaining useful life” means the time reasonably calculated to remain before a major component will require replacement.
- (2) “Major component” has the meaning used in Section 5550. Components with an estimated remaining useful life of more than 30 years may be included in a study as a capital asset or disregarded from the reserve calculation, so long as the decision is revealed in the reserve study report and reported in the Assessment and Reserve Funding Disclosure Summary.
- (3) The form set out in subdivision (a) shall accompany each annual budget report or summary thereof that is delivered pursuant to **Section 5300**. The form may be supplemented or modified to clarify the information delivered, so long as the minimum information set out in subdivision (a) is provided.
- (4) For the purpose of the report and summary, the amount of reserves needed to be accumulated for a component at a given time shall be computed as the current cost of replacement or repair multiplied by the number of years the component has been in service divided by the useful life of the component. This shall not be construed to require the board to fund reserves in accordance with this calculation.

Dana by The Sea
 Dana Point, CA
Current Assessment Funding Model Summary

Report Date	August 29, 2025
Account Number	Full Study FY25/26
Budget Year Beginning	October 1, 2025
Budget Year Ending	September 30, 2026
Total Units	21

<i>Report Parameters</i>	
Inflation	4.50%
Annual Assessment Increase	5.00%
Interest Rate on Reserve Deposit	0.01%
Tax Rate on Interest	30.00%
2025 Beginning Balance	\$337,517

Current Assessment Funding Model

- This 21-Unit Development is located near Street of the Blue Lantern & Alta Vista Dr. in Dana Point, California.
- The last Reserve Analyst field inspection was completed on June 9, 2025.
- The average per unit, per month reserve contribution should be \$406.25, for an annual contribution of \$102,375.
- If implemented, the projected percentage funded at the end of fiscal year 2025/26 will be 64%.
- This funding model has been given a **5.0%** annual contribution increase to the reserves to sustain the rate of inflation.

<i>Current Assessment Funding Model Summary of Calculations</i>	
Required Monthly Contribution <i>\$406.25 per unit monthly</i>	\$8,531.25
Average Net Monthly Interest Earned	<u>\$2.10</u>
Total Monthly Allocation to Reserves <i>\$406.35 per unit monthly</i>	\$8,533.35

**Dana by The Sea
Current Assessment Funding Model Projection**

Beginning Balance: \$337,517

Year	Current Cost	Annual Contribution	Annual Interest	Annual Expenditures	Projected Ending Reserves	Fully Funded Reserves	Percent Funded
2025	1,301,349	102,375	25	33,479	406,438	630,939	64%
2026	1,359,909	107,494	33		513,964	755,280	68%
2027	1,421,105	112,868	32	111,180	515,685	772,843	67%
2028	1,485,055	118,512	23	257,674	376,545	642,600	59%
2029	1,551,882	124,437	27	58,031	442,979	719,813	62%
2030	1,621,717	130,659	35	18,755	554,918	846,447	66%
2031	1,694,694	137,192	42	32,557	659,595	969,480	68%
2032	1,770,956	144,052	40	160,281	643,407	971,992	66%
2033	1,850,649	151,255	49	27,316	767,394	1,119,252	69%
2034	1,933,928	158,817	51	118,793	807,469	1,183,489	68%
2035	2,020,954	166,758	62	17,736	956,553	1,362,432	70%
2036	2,111,897	175,096	73	9,737	1,121,985	1,564,275	72%
2037	2,206,933	183,851	82	56,787	1,249,131	1,732,817	72%
2038	2,306,245	193,043	63	453,818	988,419	1,501,132	66%
2039	2,410,026	202,695	70	100,373	1,090,811	1,635,777	67%
2040	2,518,477	212,830	34	714,870	588,805	1,142,071	52%
2041	2,631,808	223,472	39	148,899	663,417	1,225,676	54%
2042	2,750,240	234,645	42	195,319	702,786	1,272,986	55%
2043	2,874,001	246,378	56	34,250	914,970	1,499,574	61%
2044	3,003,331	258,697	65	126,547	1,047,184	1,649,137	63%
2045	3,138,480	271,631	81	42,495	1,276,401	1,902,909	67%
2046	3,279,712	285,213	96	55,594	1,506,116	2,164,491	70%
2047	3,427,299	299,474	111	88,188	1,717,513	2,414,316	71%
2048	3,581,528	314,447	76	802,600	1,229,436	1,939,828	63%
2049	3,742,696	330,170	95	54,328	1,505,372	2,237,435	67%
2050	3,911,118	346,678	54	922,744	929,360	1,652,957	56%
2051	4,087,118	364,012	70	130,181	1,163,261	1,882,966	62%
2052	4,271,038	382,213	78	261,642	1,283,908	1,999,073	64%
2053	4,463,235	401,323	98	103,979	1,581,350	2,298,878	69%
2054	4,664,080	421,389	117	132,647	1,870,210	2,596,550	72%

**Dana by The Sea
Component Funding Summary**

Description	Asset ID	Replacement Year	Current Cost	Useful Life	Adjustment Remaining	Quantity	Unit Cost	
Paving								
Paving - Asphalt; Overlay & Replacem...	1150	2038	\$27,528	30	13	6,882 @	\$4	
Paving - Asphalt; Slurry Seal & Repairs	1151	2028	\$8,258	5	3	6,882 @	\$1	
Paving - Brick Pavers; Maintenance & ...	1120	2034	\$1,428	10	9	408 @	\$14	
Paving - Concrete Drive; Maintenance ...	1141	2034	\$4,642	10	9	3,316 @	\$14	
Paving - Concrete Walks; Maintenance ...	1152	2025	\$2,920	10	0	2,086 @	\$14	
Roofing								
Roof - Alta Vista Canopy; Replacement	1157	2027	\$5,000	15	-6	2	1 @	\$5,000
Roof - Comp. Shingle; Replacement	1112	2050	\$275,079	30	25	26,198 @	\$11	
Roof - Flat Single-Ply; Replacement	1155	2040	\$191,538	20	15	14,188 @	\$14	
Roof - Maintenance & Inspections	1156	2025	\$6,000	5	0	1 @	\$6,000	
Painting								
Painting - Building Exteriors; Plank Sid...	1099	2028	\$177,467	10	3	38,165 @	\$5	
Painting - Building Exteriors; Stucco	1158	2027	\$54,876	7	2	6,456 @	\$9	
Painting - Doors; Wood	1145	2031	\$2,750	7	6	1 @	\$2,750	
Painting - Gates, Fencing, & Railings; ...	1124	2025	\$14,067	7	0	15,458 @	\$1	
Painting - Post Light Fixtures; Metal	1191	2025	\$1,250	7	0	10 @	\$125	
Building Components								
Building - Deck; Maintenance & Repairs	1159	2027	\$28,485	5	2	5,697 @	\$5	
Building - Entry Pergola; Repairs & Re...	1147	2039	\$6,500	15	14	1 @	\$6,500	
Building - Patio Deck; Maintenance & ...	1190	2029	\$9,990	5	4	1,998 @	\$25	
Building Exteriors - Siding & Trim; Re...	1192	2028	\$40,073	10	3	38,165 @	\$1	
Fencing/Security								
Fencing - Gates, Fencing & Railings; R...	1146	2040	\$149,850	30	15	1,998 @	\$75	
Fencing - Keypad/Intercom; Replaceme...	1164	2029	\$2,400	20	4	1 @	\$2,400	
Fencing - Masonry Wall; Maintenance ...	1148	2034	\$2,500	10	9	1 @	\$2,500	
Fencing - Retaining Wall; Maintenance...	1160	2025	\$2,500	10	0	1 @	\$2,500	
Lighting								
Lighting - Post Fixture; Replacement	1162	2040	\$12,000	25	15	10 @	\$1,200	
Lighting - Wall Mounted Fixture; Repl...	1102	2040	\$5,750	25	15	46 @	\$125	

**Dana by The Sea
Component Funding Summary**

Description	Asset ID	Replacement Year	Current Cost	Useful Life	Adjustment Remaining	Quantity	Unit Cost
Grounds Components							
Landscape - Backflow Preventer; Repla...	1165	2030	\$3,600	30	5	2 @	\$1,800
Landscape - Irrigation System; Replace...	1134	2027	\$5,000	5	2	1 @	\$5,000
Landscape - Replenishment	1116	2029	\$6,500	5	4	1 @	\$6,500
Garage							
Equipment - Elevator; Cab Refurbishm...	1188	2031	\$7,250	12	6	1 @	\$7,250
Equipment - Elevator; Overhaul/ Mode...	1189	2059	\$71,750	40	34	1 @	\$71,750
Fencing - Operator/Motor; Replacement	1136	2033	\$7,500	15	8	2 @	\$3,750
Fencing - Vehicle Gate; Replacement	1140	2051	\$11,000	30	26	2 @	\$5,500
Lighting - Exit Sign; Replacement	1166	2040	\$875	25	15	5 @	\$175
Lighting - Round Fixture; Replacement	1137	2040	\$3,000	25	15	12 @	\$250
Painting - Bollards; Concrete	1167	2030	\$2,000	12	5	16 @	\$125
Painting - Vehicle Gate; Wrought Iron	1125	2025	\$2,565	7	0	684 @	\$4
Painting - Walls & Ceiling; CMU Block	1138	2032	\$43,485	10	5 7	19,766 @	\$2
Security - Bollards; Replacement	1168	2051	\$12,000	35	26	16 @	\$750
Pool							
Equipment - Furnishings; Replacement	1174		Unfunded				
Equipment - Hand Rail; Replacement	1171	2029	\$3,875	15	4	5 @	\$775
Equipment - Mech. Equipment; Repairs...	1172	2027	\$3,450	3	2	1 @	\$3,450
Lighting - Wall Mounted Fixture; Repl...	1178	2040	\$375	25	15	3 @	\$125
Painting - Bldg. Exteriors; Plank Siding...	1183	2025	\$1,595	7	0	220 @	\$7
Painting - Doors; Wood	1185	2025	\$315	7	0	3 @	\$105
Paving - Deck; Maintenance & Repairs	1170	2025	\$2,267	7	0	2,519 @	\$18
Paving - Resurfacing; Maintenance & ...	1173	2029	\$25,898	15	4	1,151 @	\$23
Roof - Comp. Shingle; Replacement	1181	2050	\$7,196	30	25	505 @	\$14
Roof - Pool Canopy; Replacement	1182	2027	\$5,000	15	-6 2	1 @	\$5,000
Security - Utility Doors; Replacement	1184	2036	\$2,550	30	11	3 @	\$850
Mailboxes							
Mailboxes - Cluster Box; Replacement	1048	2039	\$5,700	30	14	2 @	\$2,850
Fire Protection							
Equipment - Fire System; Upgrades & ...	1154	2031	\$15,000	20	6	1 @	\$15,000

**Dana by The Sea
Component Funding Summary**

Description	Asset ID	Replacement Year	Current Cost	Useful Life	Adjustment Remaining	Quantity	Unit Cost
Contingency							
Contingency - Balcony Inspections; SB...	1128	2032	\$18,750	9	7	1 @	\$18,750

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Category Detail Index**

Asset ID	Description	Replacement	Page
Paving			
1150	Paving - Asphalt; Overlay & Replacement	2038	2-8
1151	Paving - Asphalt; Slurry Seal & Repairs	2028	2-8
1120	Paving - Brick Pavers; Maintenance & Repairs	2034	2-9
1141	Paving - Concrete Drive; Maintenance & Repairs	2034	2-10
1152	Paving - Concrete Walks; Maintenance & Repairs	2025	2-10
Roofing			
1157	Roof - Alta Vista Canopy; Replacement	2027	2-12
1112	Roof - Comp. Shingle; Replacement	2050	2-12
1155	Roof - Flat Single-Ply; Replacement	2040	2-13
1156	Roof - Maintenance & Inspections	2025	2-14
Painting			
1099	Painting - Building Exteriors; Plank Siding & Trim	2028	2-16
1158	Painting - Building Exteriors; Stucco	2027	2-16
1145	Painting - Doors; Wood	2031	2-17
1124	Painting - Gates, Fencing, & Railings; Metal & Wo..	2025	2-18
1191	Painting - Post Light Fixtures; Metal	2025	2-18
Building Components			
1159	Building - Deck; Maintenance & Repairs	2027	2-20
1147	Building - Entry Pergola; Repairs & Replacement	2039	2-20
1190	Building - Patio Deck; Maintenance & Repairs	2029	2-21
1192	Building Exteriors - Siding & Trim; Repairs/Replac..	2028	2-22
Fencing/Security			
1146	Fencing - Gates, Fencing & Railings; Replacement	2040	2-23
1164	Fencing - Keypad/Intercom; Replacement	2029	2-23
1148	Fencing - Masonry Wall; Maintenance & Repairs	2034	2-24
1160	Fencing - Retaining Wall; Maintenance & Repairs	2025	2-25
Lighting			
1162	Lighting - Post Fixture; Replacement	2040	2-26
1102	Lighting - Wall Mounted Fixture; Replacement	2040	2-26
Grounds Components			
1165	Landscape - Backflow Preventer; Replacement	2030	2-28
1134	Landscape - Irrigation System; Replacement	2027	2-28

**Dana by The Sea
Category Detail Index**

Asset ID	Description	Replacement	Page
<i>Grounds Components Continued...</i>			
1116	Landscape - Replenishment	2029	2-29
Garage			
1188	Equipment - Elevator; Cab Refurbishment	2031	2-30
1189	Equipment - Elevator; Overhaul/ Modernize	2059	2-30
1136	Fencing - Operator/Motor; Replacement	2033	2-31
1140	Fencing - Vehicle Gate; Replacement	2051	2-32
1166	Lighting - Exit Sign; Replacement	2040	2-32
1137	Lighting - Round Fixture; Replacement	2040	2-33
1167	Painting - Bollards; Concrete	2030	2-34
1125	Painting - Vehicle Gate; Wrought Iron	2025	2-34
1138	Painting - Walls & Ceiling; CMU Block	2032	2-35
1168	Security - Bollards; Replacement	2051	2-36
Pool			
1174	Equipment - Furnishings; Replacement	2026	2-37
1171	Equipment - Hand Rail; Replacement	2029	2-37
1172	Equipment - Mech. Equipment; Repairs & Replace..	2027	2-38
1178	Lighting - Wall Mounted Fixture; Replacement	2040	2-39
1183	Painting - Bldg. Exteriors; Plank Siding & Trim	2025	2-39
1185	Painting - Doors; Wood	2025	2-40
1170	Paving - Deck; Maintenance & Repairs	2025	2-41
1173	Paving - Resurfacing; Maintenance & Repairs	2029	2-41
1181	Roof - Comp. Shingle; Replacement	2050	2-42
1182	Roof - Pool Canopy; Replacement	2027	2-43
1184	Security - Utility Doors; Replacement	2036	2-43
Mailboxes			
1048	Mailboxes - Cluster Box; Replacement	2039	2-45
Fire Protection			
1154	Equipment - Fire System; Upgrades & Repairs	2031	2-46
Contingency			
1128	Contingency - Balcony Inspections; SB 326	2032	2-47
	Total Funded Assets	50	
	Total Unfunded Assets	<u>1</u>	
	Total Assets	51	

**Dana by The Sea
Detail Report by Category**

Paving - Asphalt; Overlay & Replacement - 2038

		6,882 sf	@ \$4.00
Asset ID	1150	Asset Actual Cost	\$27,528.00
	General	Percent Replacement	100%
Category	Paving	Future Cost	\$48,785.01
Placed in Service	December 2008	Assigned Reserves	\$1,173.59
Useful Life	30		
Replacement Year	2038	Monthly Assessment	\$171.33
Remaining Life	13	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$171.35



This component is to apply a petromat overlay on top of the existing asphalt surface along with 1-1/2" of new hot mix. Generally, this includes edge grinding, utility box extensions, and filling potholes. The observed condition of Granada Dr road was good. Damage to asphalt is typically a result of several different factors, including time, weather conditions, improper maintenance, and chemical exposure from gasoline, cleaning solutions, oil, etc.

Paving - Asphalt; Slurry Seal & Repairs - 2028

		6,882 sf	@ \$1.20
Asset ID	1151	Asset Actual Cost	\$8,258.40
	General	Percent Replacement	100%
Category	Paving	Future Cost	\$9,424.21
Placed in Service	December 2023	Assigned Reserves	\$3,303.36
Useful Life	5		
Replacement Year	2028	Monthly Assessment	\$95.47
Remaining Life	3	Interest Contribution	<u>\$0.03</u>
		Reserve Allocation	\$95.49

**Dana by The Sea
Detail Report by Category**

Paving - Asphalt; Slurry Seal & Repairs continued...



This component is for the preparation of the asphalt and application of the slurry seal coat. A seal coat is a thin liquid application that provides a sealant that helps prevent damage from the elements. This component includes striping, crack fill, skin patching, minor dig out & fill, etc. If a second coat is desired the cost is generally 10% to 20% higher. Cracks 1/4" or wider should be filled when observed. The observed condition of Granada Dr road was good.

Paving - Brick Pavers; Maintenance & Repairs - 2034

		408 sf	@ \$14.00
Asset ID	1120	Asset Actual Cost	\$1,428.00
	General	Percent Replacement	25%
Category	Paving	Future Cost	\$2,122.14
Placed in Service	December 2024	Assigned Reserves	\$142.80
Useful Life	10		
Replacement Year	2034	Monthly Assessment	\$10.29
Remaining Life	9	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$10.29



This component is for the periodic maintenance and repair of the concrete pavers, located at the front entrance facing Alta Vista Dr. Overall, the pavers appeared in good condition with no problems observed. Periodic maintenance may include mechanical and/or chemical cleaning, efflorescence removal, sealing, grinding, minor repair or replacement. If properly maintained,

**Dana by The Sea
Detail Report by Category**

Paving - Brick Pavers; Maintenance & Repairs continued...

concrete pavers can last the life of the development.

Paving - Concrete Drive; Maintenance & Repairs - 2034

		3,316 sf	@ \$14.00
Asset ID	1141	Asset Actual Cost	\$4,642.40
	General	Percent Replacement	10%
Category	Paving	Future Cost	\$6,899.05
Placed in Service	December 2024	Assigned Reserves	\$464.24
Useful Life	10		
Replacement Year	2034	Monthly Assessment	\$33.45
Remaining Life	9	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$33.46



This component covers the periodic maintenance & repairs of the concrete pavement located at the entrances to the garage facing Alta Vista Dr. Annual inspections are necessary to ensure correction of any elevation changes and trip hazards the association may be held liable for. When cracks occur, and are not repaired in a timely fashion, moisture can infiltrate and further degrade the materials. The concretes' overall appearance is in good to fair condition with a few hairline cracks and one large developing crack on the raised driveway edging.

Paving - Concrete Walks; Maintenance & Repairs - 2025

		2,086 sf	@ \$14.00
Asset ID	1152	Asset Actual Cost	\$2,920.40
	General	Percent Replacement	10%
Category	Paving	Future Cost	\$2,920.40
Placed in Service	December 1984	Assigned Reserves	\$2,920.40
Useful Life	10		
Replacement Year	2025	Monthly Assessment	\$21.22
Remaining Life	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$21.22

**Dana by The Sea
Detail Report by Category**

Paving - Concrete Walks; Maintenance & Repairs continued...



This component covers the periodic maintenance & repairs of the concrete walkways located throughout the common areas of the development. Annual inspections are necessary to ensure correction of any elevation changes and trip hazards the association may be held liable for. When cracks occur, and are not repaired in a timely fashion, moisture can infiltrate and further degrade the materials. The concrete is in overall fair condition with few hairline cracks but no noticeable large fractures or lifting.

Paving - Total Current Cost	\$44,777
Assigned Reserves	\$8,004
Fully Funded Reserves	\$22,430

**Dana by The Sea
Detail Report by Category**

Roof - Alta Vista Canopy; Replacement - 2027

		1 LS	@ \$5,000.00
Asset ID	1157	Asset Actual Cost	\$5,000.00
	Residential	Percent Replacement	100%
Category	Roofing	Future Cost	\$5,460.12
Placed in Service	December 2018	Assigned Reserves	\$3,888.89
Useful Life	15		
Adjustment	-6	Monthly Assessment	\$36.75
Replacement Year	2027	Interest Contribution	<u>\$0.03</u>
Remaining Life	2	Reserve Allocation	\$36.78



This component covers replacement of the entryway canopy. At the time of inspection, it appeared to be in fair condition.

*Per HOA, replacement date projected for 2027.

Roof - Comp. Shingle; Replacement - 2050

		26,198 sf	@ \$10.50
Asset ID	1112	Asset Actual Cost	\$275,079.00
	Residential	Percent Replacement	100%
Category	Roofing	Future Cost	\$826,731.90
Placed in Service	December 2020	Assigned Reserves	<i>none</i>
Useful Life	30		
Replacement Year	2050	Monthly Assessment	\$1,546.36
Remaining Life	25	Interest Contribution	<u>\$0.10</u>
		Reserve Allocation	\$1,546.47

**Dana by The Sea
Detail Report by Category**

Roof - Comp. Shingle; Replacement continued...

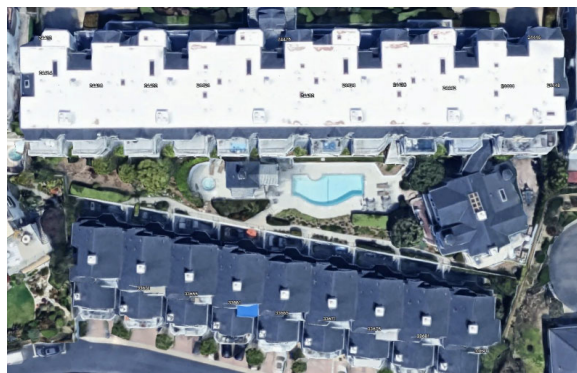


Shingled roofs are typically composed of asphalt shingles, which consist of a fiberglass or organic mat base coated with asphalt and embedded with mineral granules for added durability. This composition provides resistance to weather, UV rays, and general wear over time. While shingled roofs offer a cost-effective and widely used roofing solution, they require regular maintenance and have a lifespan that varies depending on climate conditions and material quality. At the time of inspection, the condition of the roofs appeared to be good.

*It is recommended that all roofs over 10 years old be inspected by a reputable roofing contractor and be repaired as indicated.

Roof - Flat Single-Ply; Replacement - 2040

		14,188 sf	@ \$13.50
Asset ID	1155	Asset Actual Cost	\$191,538.00
	Residential	Percent Replacement	100%
Category	Roofing	Future Cost	\$370,680.13
Placed in Service	December 2020	Assigned Reserves	<i>none</i>
Useful Life	20		
Replacement Year	2040	Monthly Assessment	\$1,155.97
Remaining Life	15	Interest Contribution	<u>\$0.08</u>
		Reserve Allocation	\$1,156.05



Cool roofs are designed to reflect sunlight and absorb less heat than a standard composition

**Dana by The Sea
Detail Report by Category**

Roof - Flat Single-Ply; Replacement continued...

shingle or tile roofing system, allowing for significant energy savings from decreased air conditioning. Single-ply membranes are pre-fabricated sheets rolled onto the roof and attached with mechanical fasteners or adhesives. The most important maintenance is to ensure proper draining. If ponding occurs, eventually this will seep through and cause costly damage to the surface underneath. Often this damage isn't detected until rot and mold are present. Checking the seams, flashings and all around the rooftop penetrations, periodically and after rain storms should be done.

Roof - Maintenance & Inspections - 2025			
Asset ID	1156	1 LS	@ \$6,000.00
Category	General	Asset Actual Cost	\$6,000.00
Placed in Service	Roofing	Percent Replacement	100%
Useful Life	December 2020	Future Cost	\$6,000.00
Replacement Year	5	Assigned Reserves	\$6,000.00
Remaining Life	2025	Monthly Assessment	\$69.98
	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$69.98



This component provides for periodic roof inspections as part of a proactive maintenance strategy. Regular roof inspections are essential in identifying early signs of deterioration, leaks, or structural issues before they lead to costly repairs or premature replacement. Benefits of routine inspections include extending the roof's useful life, minimizing emergency repair costs, maintaining warranty compliance, and ensuring the overall integrity of the building envelope. While inspections do require a modest investment and may uncover the need for additional repairs, the long-term cost savings and risk mitigation far outweigh the short-term expense. Given the critical role the roof plays in protecting the structure, these inspections are strongly recommended at regular intervals, particularly following severe weather events or as the roof nears mid-life.

**Dana by The Sea
Detail Report by Category**

Roofing - Total Current Cost	\$477,617
Assigned Reserves	\$9,889
Fully Funded Reserves	\$103,620

**Dana by The Sea
Detail Report by Category**

Painting - Building Exteriors; Plank Siding & Trim - 2028

Asset ID	1099	38,165 sf	@ \$4.65
Category	General	Asset Actual Cost	\$177,467.25
Placed in Service	December 2018	Percent Replacement	100%
Useful Life	10	Future Cost	\$202,519.61
Replacement Year	2028	Assigned Reserves	\$124,227.07
Remaining Life	3	Monthly Assessment	\$1,220.89
		Interest Contribution	<u>\$0.81</u>
		Reserve Allocation	\$1,221.69



The present condition of the exterior paint on the plank siding & trim is fair. There are no areas where the paint is starting to peel and chip away. Proper painting intervals will help protect the component underneath from unnecessary damage from exposure to the elements. Before the buildings are painted, preparation should include power washing, scraping, sanding, and repairs as found necessary.

Painting - Building Exteriors; Stucco - 2027

Asset ID	1158	6,456 sf	@ \$8.50
Category	General	Asset Actual Cost	\$54,876.00
Placed in Service	December 2020	Percent Replacement	100%
Useful Life	7	Future Cost	\$59,925.96
Replacement Year	2027	Assigned Reserves	\$39,197.14
Remaining Life	2	Monthly Assessment	\$484.91
		Interest Contribution	<u>\$0.26</u>
		Reserve Allocation	\$485.18

**Dana by The Sea
Detail Report by Category**

Painting - Building Exteriors; Stucco continued...



This component is for the painting of the stucco located throughout the exteriors of the building. It is recommended that all stucco surfaces be painted on a seven (7) year cycle in order to prevent the premature wear and maintain aesthetic appeal. At the time of inspection, the paint was noted to be in fair condition with some signs of noticeable wear, such as chipping, cracking, and discoloration.

Painting - Doors; Wood - 2031		1 LS	@ \$2,750.00
Asset ID	1145	Asset Actual Cost	\$2,750.00
	General	Percent Replacement	100%
Category	Painting	Future Cost	\$3,581.22
Placed in Service	December 2024	Assigned Reserves	\$392.86
Useful Life	7		
Replacement Year	2031	Monthly Assessment	\$24.86
Remaining Life	6	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$24.87



The present condition of the paint on the wood doors is good. There was no evidence of paint starting to peel and/or chip away. Proper painting intervals will help protect the component underneath from unnecessary damage from exposure to the elements. Before the components are painted, preparation should include power washing, scraping, sanding, and repairs as found necessary.

**Dana by The Sea
Detail Report by Category**

Painting - Gates, Fencing, & Railings; Metal & Wood - 2025

		15,458 sf	@ \$0.91
Asset ID	1124	Asset Actual Cost	\$14,066.78
	General	Percent Replacement	100%
Category	Painting	Future Cost	\$14,066.78
Placed in Service	December 1984	Assigned Reserves	\$14,066.78
Useful Life	7		
Replacement Year	2025	Monthly Assessment	\$127.96
Remaining Life	0	Interest Contribution	<u>\$0.01</u>
		Reserve Allocation	\$127.97



This component is to prepare, power wash, sand, scrape, spot prime and paint the wrought iron and wood balcony railings, hand/stair railings, gates and fencing. To ensure the wrought iron and wood achieves its full useful life, it should be painted as recommended. The paint at the time of inspection varied from fair to poor depending on the area. Without proper paint maintenance, the useful life of wrought iron can be greatly diminished.

*Per HOA, pricing for component reflects bids received in 2025 for painting.

Painting - Post Light Fixtures; Metal - 2025

		10 ea	@ \$125.00
Asset ID	1191	Asset Actual Cost	\$1,250.00
	General	Percent Replacement	100%
Category	Painting	Future Cost	\$1,250.00
Placed in Service	December 1984	Assigned Reserves	\$1,250.00
Useful Life	7		
Replacement Year	2025	Monthly Assessment	\$11.37
Remaining Life	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$11.37

**Dana by The Sea
Detail Report by Category**

Painting - Post Light Fixtures; Metal continued...



This component is to prepare, power wash, sand, scrape, spot prime and paint the metal post lights throughout the common area of the community. To ensure the metal post achieves its full useful life, it should be painted as recommended. The paint at the time of inspection varied from fair to poor depending on one light post and mainly at the base of the post. Without proper paint maintenance, the useful life of light post can be greatly diminished.

Painting - Total Current Cost	\$250,410
Assigned Reserves	\$179,134
Fully Funded Reserves	\$179,134

**Dana by The Sea
Detail Report by Category**

Building - Deck; Maintenance & Repairs - 2027

		5,697 sf	@ \$5.00
Asset ID	1159	Asset Actual Cost	\$28,485.00
	General	Percent Replacement	100%
Category	Building Components	Future Cost	\$31,106.33
Placed in Service	December 2022	Assigned Reserves	\$17,091.00
Useful Life	5		
Replacement Year	2027	Monthly Assessment	\$327.90
Remaining Life	2	Interest Contribution	<u>\$0.12</u>
		Reserve Allocation	\$328.02



This component is for the maintenance and repairs of the decks. This is not for full teardown & full replacement. Plan on repairs, resurfacing and partial replacement of boards due to normal deterioration and wear.

Building - Entry Pergola; Repairs & Replacement - 2039

		1 LS	@ \$6,500.00
Asset ID	1147	Asset Actual Cost	\$6,500.00
	General	Percent Replacement	100%
Category	Building Components	Future Cost	\$12,037.64
Placed in Service	December 2024	Assigned Reserves	<i>none</i>
Useful Life	15		
Replacement Year	2039	Monthly Assessment	\$40.22
Remaining Life	14	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$40.22

**Dana by The Sea
Detail Report by Category**

Building - Entry Pergola; Repairs & Replacement continued...



This component is for the repairs and partial replacement of the entry pergola facing Alta Vista Dr. At the time of inspection, the component appeared to be in good condition, showing no sign of damage or defect.

Building - Patio Deck; Maintenance & Repairs - 2029

		1,998 sf	@ \$25.00
Asset ID	1190	Asset Actual Cost	\$9,990.00
	General	Percent Replacement	20%
Category	Building Components	Future Cost	\$11,913.26
Placed in Service	December 2024	Assigned Reserves	\$1,998.00
Useful Life	5		
Replacement Year	2029	Monthly Assessment	\$115.99
Remaining Life	4	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$116.01



This component is for the maintenance and repairs of the decks. This is not for full teardown & full replacement. Plan on repairs, resurfacing and partial replacement of boards due to normal deterioration and wear.

**Dana by The Sea
Detail Report by Category**

Building Exteriors - Siding & Trim; Repairs/Replacement - 2028

		38,165 sf	@ \$1.05
Asset ID	1192	Asset Actual Cost	\$40,073.25
	General	Percent Replacement	100%
Category	Building Components	Future Cost	\$45,730.24
Placed in Service	December 2018	Assigned Reserves	\$28,051.27
Useful Life	10		
Replacement Year	2028	Monthly Assessment	\$275.68
Remaining Life	3	Interest Contribution	<u>\$0.18</u>
		Reserve Allocation	\$275.87



This component covers the periodic repairs and/or section replacement of siding & trim located throughout the building exteriors.

Building Components - Total Current Cost	\$85,048
Assigned Reserves	\$47,140
Fully Funded Reserves	\$47,574

**Dana by The Sea
Detail Report by Category**

Fencing - Gates, Fencing & Railings; Replacement - 2040

		1,998 lf	@ \$75.00
Asset ID	1146	Asset Actual Cost	\$149,850.00
	General	Percent Replacement	100%
Category	Fencing/Security	Future Cost	\$290,002.07
Placed in Service	December 2010	Assigned Reserves	<i>none</i>
Useful Life	30		
Replacement Year	2040	Monthly Assessment	\$904.37
Remaining Life	15	Interest Contribution	<u>\$0.06</u>
		Reserve Allocation	\$904.43



This component is for the replacement of the pedestrian gates and fencing in the development. At the time of inspection, the overall condition of gates & fencing was fair. Normal weathering, surface rust and paint deterioration was observed but none rampant enough to cause major structural damage or defect. Painting is provided with another component.

Fencing - Keypad/Intercom; Replacement - 2029

		1 ea	@ \$2,400.00
Asset ID	1164	Asset Actual Cost	\$2,400.00
	General	Percent Replacement	100%
Category	Fencing/Security	Future Cost	\$2,862.04
Placed in Service	December 2009	Assigned Reserves	\$1,920.00
Useful Life	20		
Replacement Year	2029	Monthly Assessment	\$11.01
Remaining Life	4	Interest Contribution	<u>\$0.01</u>
		Reserve Allocation	\$11.03

**Dana by The Sea
Detail Report by Category**

Fencing - Keypad/Intercom; Replacement continued...



The Viking entry phone system appeared to be in good condition without any sign of damage or malfunction. Typically, if the keys show signs of wear or sticking, the key code can be changed to less frequently used numbers to extend the life of the component and provide more equal wear.

Fencing - Masonry Wall; Maintenance & Repairs - 2034

		1 LS	@ \$2,500.00
Asset ID	1148	Asset Actual Cost	\$2,500.00
	General	Percent Replacement	100%
Category	Fencing/Security	Future Cost	\$3,715.24
Placed in Service	December 2024	Assigned Reserves	\$250.00
Useful Life	10		
Replacement Year	2034	Monthly Assessment	\$18.01
Remaining Life	9	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$18.02



This component is for the periodic maintenance and repairs of the masonry wall located at the Alta Vista Dr. entryway, garage entry and garage exit. At the time of inspection, the wall was overall in good condition. Since this component will last the life of the development and exceeds the scope of this study, this item is for periodic and ongoing maintenance. Such maintenance may include pressure washing, efflorescence removal, pointing, and minor

**Dana by The Sea
Detail Report by Category**

Fencing - Masonry Wall; Maintenance & Repairs continued...

masonry repair.

Fencing - Retaining Wall; Maintenance & Repairs - 2025

		1 LS	@ \$2,500.00
Asset ID	1160	Asset Actual Cost	\$2,500.00
	General	Percent Replacement	100%
Category	Fencing/Security	Future Cost	\$2,500.00
Placed in Service	December 1984	Assigned Reserves	\$2,500.00
Useful Life	10		
Replacement Year	2025	Monthly Assessment	\$18.16
Remaining Life	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$18.17



This component is for the periodic maintenance and repairs of the retaining wall. Since this component will last the life of the development and exceeds the scope of this study, this item is for periodic and ongoing maintenance. Such maintenance may include pressure washing, efflorescence removal, pointing, and minor masonry repair. At the time of inspection, the wall was overall in fair condition but had a significant cracking along the top of the wall including some chipping at a few locations. We recommend this component be consulted on and repaired as soon as possible to prevent further degradation of the walls. Painting is provided for in another component.

Fencing/Security - Total Current Cost	\$157,250
Assigned Reserves	\$4,670
Fully Funded Reserves	\$79,595

**Dana by The Sea
Detail Report by Category**

Lighting - Post Fixture; Replacement - 2040

		10 ea	@ \$1,200.00
Asset ID	1162	Asset Actual Cost	\$12,000.00
	General	Percent Replacement	100%
Category	Lighting	Future Cost	\$23,223.39
Placed in Service	December 2015	Assigned Reserves	<i>none</i>
Useful Life	25		
Replacement Year	2040	Monthly Assessment	\$72.42
Remaining Life	15	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$72.43



This component is for the replacement of the post lights fixtures located on the pathways between the buildings and on Granda Drive. This component assumes that existing wiring and conduits will be reused. At the time of inspection, the condition of the lights was fair. The fixtures and poles look fair but the condition of the base of the post was varying with some rusted through at several points. Operation of the lights was not observed as the inspection took place during the day. Painting is provided for in another component.

Lighting - Wall Mounted Fixture; Replacement - 2040

		46 ea	@ \$125.00
Asset ID	1102	Asset Actual Cost	\$5,750.00
	General	Percent Replacement	100%
Category	Lighting	Future Cost	\$11,127.87
Placed in Service	December 2015	Assigned Reserves	<i>none</i>
Useful Life	25		
Replacement Year	2040	Monthly Assessment	\$34.70
Remaining Life	15	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$34.70

**Dana by The Sea
Detail Report by Category**

Lighting - Wall Mounted Fixture; Replacement continued...



This component is for the replacement of the exterior wall-mounted light fixtures. They appeared to be in good condition at the time of inspection with minimal signs of cosmetic wear. Bulbs are an operating expense and should be replaced as noted.

Lighting - Total Current Cost	\$17,750
Assigned Reserves	\$0
Fully Funded Reserves	\$7,100

**Dana by The Sea
Detail Report by Category**

Landscape - Backflow Preventer; Replacement - 2030

		2 ea	@ \$1,800.00
Asset ID	1165	Asset Actual Cost	\$3,600.00
	General	Percent Replacement	100%
Category	Grounds Components	Future Cost	\$4,486.25
Placed in Service	December 2000	Assigned Reserves	\$3,000.00
Useful Life	30		
Replacement Year	2030	Monthly Assessment	\$13.90
Remaining Life	5	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$13.92

This component covers replacement of the backflow preventers. Although not visible, they are presumed to be in fair condition.

*Backflow preventers require annual inspections and should be repaired as found necessary. This is handled operationally.

Landscape - Irrigation System; Replacement - 2027

		1 LS	@ \$5,000.00
Asset ID	1134	Asset Actual Cost	\$5,000.00
	General	Percent Replacement	100%
Category	Grounds Components	Future Cost	\$5,460.12
Placed in Service	December 2022	Assigned Reserves	\$3,000.00
Useful Life	5		
Replacement Year	2027	Monthly Assessment	\$57.56
Remaining Life	2	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$57.58



This component is for the periodic partial replacement of the irrigation system, which appeared to be in fair condition at the time of inspection. There were no major signs of operational problems such as the pooling of water, ground over saturation, or broken equipment.

**Dana by The Sea
Detail Report by Category**

Landscape - Replenishment - 2029

		1 LS	@ \$6,500.00
Asset ID	1116	Asset Actual Cost	\$6,500.00
	General	Percent Replacement	100%
Category	Grounds Components	Future Cost	\$7,751.37
Placed in Service	December 2024	Assigned Reserves	\$1,300.00
Useful Life	5		
Replacement Year	2029	Monthly Assessment	\$75.47
Remaining Life	4	Interest Contribution	<u>\$0.01</u>
		Reserve Allocation	\$75.48



This component is for the replacement and replenishment of the landscape ground cover. This landscape includes many different types of plants and trees. All of the different landscape items will have different life expectancies. This is an average estimate which may vary based on climate, drought conditions, damage from animals, etc. Pruning, trimming, and other maintenance is handled operationally.

Grounds Components - Total Current Cost	\$15,100
Assigned Reserves	\$7,300
Fully Funded Reserves	\$7,300

**Dana by The Sea
Detail Report by Category**

Equipment - Elevator; Cab Refurbishment - 2031

		1 LS	@ \$7,250.00
Asset ID	1188	Asset Actual Cost	\$7,250.00
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$9,441.39
Placed in Service	December 2019	Assigned Reserves	\$3,625.00
Useful Life	12		
Replacement Year	2031	Monthly Assessment	\$45.35
Remaining Life	6	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$45.37



This component is to replace the interior furnishings of the elevator cab. This includes, sidings, lights, carpet, tile, buttons, etc. The useful life of this item is highly correlated with the amount of use. At the time of inspection the condition was good.

Equipment - Elevator; Overhaul/ Modernize - 2059

		1 LS	@ \$71,750.00
Asset ID	1189	Asset Actual Cost	\$71,750.00
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$320,461.44
Placed in Service	December 2019	Assigned Reserves	<i>none</i>
Useful Life	40		
Replacement Year	2059	Monthly Assessment	\$440.60
Remaining Life	34	Interest Contribution	<u>\$0.03</u>
		Reserve Allocation	\$440.63

**Dana by The Sea
Detail Report by Category**

Equipment - Elevator; Overhaul/ Modernize continued...



This component is to modernize or overhaul the elevator system. As the elevator ages, the working components will begin to fail. Replacement parts may become unavailable, new technologies will emerge and become incompatible with old components, or the building and safety codes will change causing the necessary upgrades. This does not include building modifications and is only for the overhaul and replacement of the elevator components.

*Annual inspections are recommended. Maintenance is handled operationally.

Fencing - Operator/Motor; Replacement - 2033

		2 ea	@ \$3,750.00
Asset ID	1136	Asset Actual Cost	\$7,500.00
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$10,665.75
Placed in Service	December 2018	Assigned Reserves	\$3,500.00
Useful Life	15		
Replacement Year	2033	Monthly Assessment	\$41.90
Remaining Life	8	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$41.92



This component is for the replacement of the overhead All-O-Matic garage door openers. At the time of inspection, the garage door openers appeared to be in fair condition. Regular

**Dana by The Sea
Detail Report by Category**

Fencing - Operator/Motor; Replacement continued...

maintenance is recommended to prevent premature failure of the component.

Fencing - Vehicle Gate; Replacement - 2051

Asset ID	1140	Asset Actual Cost	2 ea @ \$5,500.00 \$11,000.00
Category	Garage	Percent Replacement	100%
Placed in Service	December 2021	Future Cost	\$34,547.47
Useful Life	30	Assigned Reserves	none
Replacement Year	2051	Monthly Assessment	\$62.13
Remaining Life	26	Interest Contribution	\$0.00
		Reserve Allocation	\$62.14



This component is for the replacement of the wrought iron parking garage gates. At the time of inspection, it appeared to be in fair condition with some signs of rust but no major damage or defect noted impeding its function. Painting is provided for in another component.

*Per 2022/23 Reserve study - \$1832 was expensed for repairs in 2021.

Lighting - Exit Sign; Replacement - 2040

Asset ID	1166	Asset Actual Cost	5 ea @ \$175.00 \$875.00
Category	Garage	Percent Replacement	100%
Placed in Service	December 2015	Future Cost	\$1,693.37
Useful Life	25	Assigned Reserves	none
Replacement Year	2040	Monthly Assessment	\$5.28
Remaining Life	15	Interest Contribution	\$0.00
		Reserve Allocation	\$5.28

**Dana by The Sea
Detail Report by Category**

Lighting - Exit Sign; Replacement continued...



This component covers the replacement of the illuminated exit signs located in the parking garage; although rare, these fixtures will have to be replaced periodically due to age, stress on fittings, fraying of wires, corrosion, or many other factors. At the time of inspection, the lights appeared to be functioning properly without signs of damage and in good condition.

Lighting - Round Fixture; Replacement - 2040

		12 ea	@ \$250.00
Asset ID	1137	Asset Actual Cost	\$3,000.00
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$5,805.85
Placed in Service	December 2015	Assigned Reserves	<i>none</i>
Useful Life	25		
Replacement Year	2040	Monthly Assessment	\$18.11
Remaining Life	15	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$18.11



This component covers the replacement of the round light fixtures located in the parking garage; although rare, these fixtures will have to be replaced periodically due to age, stress on fittings, fraying of wires, corrosion, or many other factors. At the time of inspection, the lights appeared to be functioning properly without signs of damage and in good condition.

**Dana by The Sea
Detail Report by Category**

Painting - Bollards; Concrete - 2030

		16 ea	@ \$125.00
Asset ID	1167	Asset Actual Cost	\$2,000.00
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$2,492.36
Placed in Service	December 2018	Assigned Reserves	\$1,166.67
Useful Life	12		
Replacement Year	2030	Monthly Assessment	\$12.40
Remaining Life	5	Interest Contribution	<u>\$0.01</u>
		Reserve Allocation	\$12.41



This component covers the painting of the bollards in the garage. At the time of inspection, the paint appeared to be in fair condition with minimal signs of cracking, peeling, chalking, or other aging damage. If a change in color, texture, type or paint scheme is desired, a primer base and/or additional coats of paint may be required, which will increase the cost of this component.

Painting - Vehicle Gate; Wrought Iron - 2025

		684 sf	@ \$3.75
Asset ID	1125	Asset Actual Cost	\$2,565.00
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$2,565.00
Placed in Service	December 2016	Assigned Reserves	\$2,565.00
Useful Life	7		
Replacement Year	2025	Monthly Assessment	\$23.33
Remaining Life	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$23.33

**Dana by The Sea
Detail Report by Category**

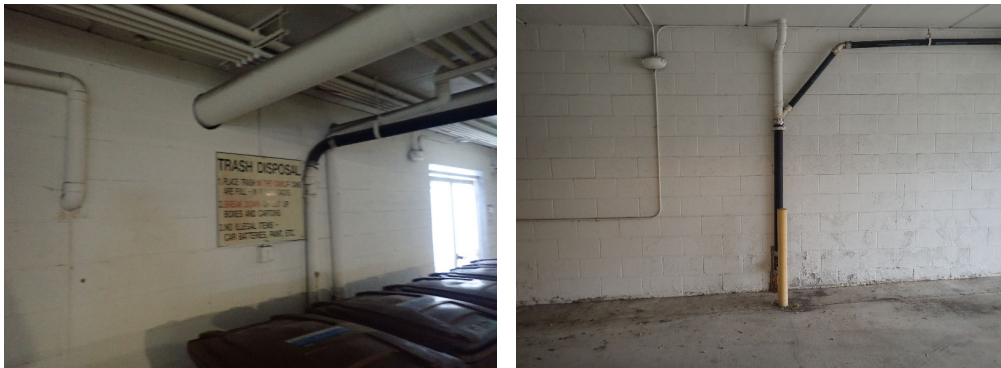
Painting - Vehicle Gate; Wrought Iron continued...



The condition of the paint on the vehicle gate is fair showing fading of its color. Proper painting intervals will help protect the component underneath from unnecessary damage from exposure to the elements. Before the doors are painted, preparation should include power washing, scraping, sanding, and repairs as found necessary.

Painting - Walls & Ceiling; CMU Block - 2032

		19,766 sf	@ \$2.20
Asset ID	1138	Asset Actual Cost	\$43,485.20
	Garage	Percent Replacement	100%
Category	Garage	Future Cost	\$59,177.35
Placed in Service	December 2017	Assigned Reserves	\$23,192.11
Useful Life	10		
Adjustment	5	Monthly Assessment	\$240.46
Replacement Year	2032	Interest Contribution	<u>\$0.15</u>
Remaining Life	7	Reserve Allocation	\$240.61



This component covers the repainting of the interior walls of the garage. At the time of inspection, the paint appeared to be in fair condition with minor signs of cracking, peeling, chalking, or other aging damage. If a change in color, texture, type or paint scheme is desired, a primer base and/or additional coats of paint may be required, which will increase the cost of

**Dana by The Sea
Detail Report by Category**

Painting - Walls & Ceiling; CMU Block continued...

this component.

*Per HOA, maintenance date projected for 2032.

Security - Bollards; Replacement - 2051			
Asset ID	1168	16 ea	@ \$750.00
Category	Garage	Asset Actual Cost	\$12,000.00
Placed in Service	December 2016	Percent Replacement	100%
Useful Life	35	Future Cost	\$37,688.15
Replacement Year	2051	Assigned Reserves	<i>none</i>
Remaining Life	26	Monthly Assessment	\$67.78
		Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$67.78



This component covers the replacement of the bollards in the garage. At the time of inspection, the bollards appeared to be in fair condition without structural damage or defect.

Garage - Total Current Cost	\$161,425
Assigned Reserves	\$34,049
Fully Funded Reserves	\$50,914

**Dana by The Sea
Detail Report by Category**

Equipment - Furnishings; Replacement

		1 LS	@ \$7,200.00
Asset ID	1174	Asset Actual Cost	\$7,200.00
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$7,524.00
Placed in Service	December 2014	Assigned Reserves	<i>none</i>
Useful Life	12		
Replacement Year	2026	<i>No Future Assessments</i>	
Remaining Life	1		



This component will replace the pool furnishings and lounging equipment. This component may vary greatly based on weather, quality, availability, amount of use, and potential vandalism. At the time of inspection the general condition of the assorted furnishings was fair.

*Per 2022/2023 Reserve Study pool furnishings are replaced through operating account. Therefore this component has been included for inventory purposes only.

Equipment - Hand Rail; Replacement - 2029

		5 ea	@ \$775.00
Asset ID	1171	Asset Actual Cost	\$3,875.00
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$4,621.01
Placed in Service	December 2014	Assigned Reserves	\$2,841.67
Useful Life	15		
Replacement Year	2029	Monthly Assessment	\$20.81
Remaining Life	4	Interest Contribution	<u>\$0.02</u>
		Reserve Allocation	\$20.82

**Dana by The Sea
Detail Report by Category**

Equipment - Hand Rail; Replacement continued...



This component is for the hand rails going into the pool. At the time of inspection, all of the hand rails had minimal to no amount of movement from side to side. This unit cost takes into account the hand rails, other materials required, and labor to install.

Equipment - Mech. Equipment; Repairs & Replacement - 2027

		1 LS	@ \$3,450.00
Asset ID	1172	Asset Actual Cost	\$3,450.00
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$3,767.49
Placed in Service	December 2024	Assigned Reserves	\$1,150.00
Useful Life	3		
Replacement Year	2027	Monthly Assessment	\$61.24
Remaining Life	2	Interest Contribution	<u>\$0.01</u>
		Reserve Allocation	\$61.25



This component covers the periodic repair & replacement of the pool pumps, motors, sand filter, etc. The useful life varies based on use and quality of equipment. At the time of inspection, the equipment was noted to be functioning. Annual maintenance is recommended to prolong the components useful life.

**Dana by The Sea
Detail Report by Category**

Lighting - Wall Mounted Fixture; Replacement - 2040

		3 ea	@ \$125.00
Asset ID	1178	Asset Actual Cost	\$375.00
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$725.73
Placed in Service	December 2015	Assigned Reserves	<i>none</i>
Useful Life	25		
Replacement Year	2040	Monthly Assessment	\$2.26
Remaining Life	15	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$2.26



This component is for the replacement of the exterior wall-mounted light fixtures. They appeared to be in good condition at the time of inspection with minimal signs of cosmetic wear. Bulbs are an operating expense and should be replaced as noted.

Painting - Bldg. Exteriors; Plank Siding & Trim - 2025

		220 sf	@ \$7.25
Asset ID	1183	Asset Actual Cost	\$1,595.00
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$1,595.00
Placed in Service	December 2018	Assigned Reserves	\$1,595.00
Useful Life	7		
Replacement Year	2025	Monthly Assessment	\$14.51
Remaining Life	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$14.51

**Dana by The Sea
Detail Report by Category**

Painting - Bldg. Exteriors; Plank Siding & Trim continued...



The present condition of the exterior paint on the plank siding & trim is fair. There are no areas where the paint is starting to peel and chip away. Proper painting intervals will help protect the component underneath from unnecessary damage from exposure to the elements. Before the building is painted, preparation should include power washing, scraping, sanding, and repairs as found necessary.

Painting - Doors; Wood - 2025

		3 ea	@ \$105.00
Asset ID	1185	Asset Actual Cost	\$315.00
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$315.00
Placed in Service	December 2018	Assigned Reserves	\$315.00
Useful Life	7		
Replacement Year	2025	Monthly Assessment	\$2.87
Remaining Life	0	Interest Contribution	\$0.00
		Reserve Allocation	\$2.87



The present condition of the exterior paint on the door is fair. There are no areas where the paint is starting to peel and chip away. Proper painting intervals will help protect the component underneath from unnecessary damage from exposure to the elements. Before the doors are painted, preparation should include power washing, scraping, sanding, and repairs as found necessary.

**Dana by The Sea
Detail Report by Category**

Paving - Deck; Maintenance & Repairs - 2025

		2,519 sf	@ \$18.00
Asset ID	1170	Asset Actual Cost	\$2,267.10
	Pool	Percent Replacement	5%
Category	Pool	Future Cost	\$2,267.10
Placed in Service	December 2014	Assigned Reserves	\$2,267.10
Useful Life	7		
Replacement Year	2025	Monthly Assessment	\$20.62
Remaining Life	0	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$20.62



This component covers the periodic repairs of the concrete pool deck. Annual inspections are necessary to ensure the correction of any elevation changes and trip hazards. Which will help reduce liability to the association. When cracks occur and are not repaired in a timely fashion, moisture can infiltrate and further degrade the materials. The concretes overall appearance at the time of inspection was in fair condition. Although this there were some noticeable cracks and chunks of missing and loose concrete that needs to be fixed before they become larger and deteriorate the entirety of the deck.

Paving - Resurfacing; Maintenance & Repairs - 2029

		1,151 sf	@ \$22.50
Asset ID	1173	Asset Actual Cost	\$25,897.50
	Pool	Percent Replacement	100%
Category	Pool	Future Cost	\$30,883.25
Placed in Service	December 2014	Assigned Reserves	\$18,991.50
Useful Life	15		
Replacement Year	2029	Monthly Assessment	\$139.06
Remaining Life	4	Interest Contribution	<u>\$0.12</u>
		Reserve Allocation	\$139.18

**Dana by The Sea
Detail Report by Category**

Paving - Resurfacing; Maintenance & Repairs continued...



This component is for the re-surfacing of the swimming pool and spa. The re-surfacing consists of draining, cleaning, tile replacement (as applicable), plastering, and refilling. At the time of inspection, the surface of the pool and spa appeared to be in good condition.

Roof - Comp. Shingle; Replacement - 2050			
Asset ID	1181	505 sf	@ \$14.25
Category	Pool	Asset Actual Cost	\$7,196.25
Placed in Service	December 2020	Percent Replacement	100%
Useful Life	30	Future Cost	\$21,627.86
Replacement Year	2050	Assigned Reserves	<i>none</i>
Remaining Life	25	Monthly Assessment	\$40.45
		Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$40.46



Shingled roofs are typically composed of asphalt shingles, which consist of a fiberglass or organic mat base coated with asphalt and embedded with mineral granules for added durability. This composition provides resistance to weather, UV rays, and general wear over time. While shingled roofs offer a cost-effective and widely used roofing solution, they require regular maintenance and have a lifespan that varies depending on climate conditions and material quality. At the time of inspection, the condition of the roof appeared to be good.

**Dana by The Sea
Detail Report by Category**

Roof - Comp. Shingle; Replacement continued...

*It is recommended that all roofs over 10 years old be inspected by a reputable roofing contractor and be repaired as indicated.

Roof - Pool Canopy; Replacement - 2027

Asset ID	1182	1 LS	@ \$5,000.00
Category	Pool	Asset Actual Cost	\$5,000.00
Placed in Service	December 2018	Percent Replacement	100%
Useful Life	15	Future Cost	\$5,460.12
Adjustment	-6	Assigned Reserves	\$3,888.89
Replacement Year	2027	Monthly Assessment	\$36.75
Remaining Life	2	Interest Contribution	<u>\$0.03</u>
		Reserve Allocation	\$36.78



This component covers replacement of the canopy at the pool building. At the time of inspection, it appeared to be in fair condition.

*Per HOA, replacement date projected for 2027.

Security - Utility Doors; Replacement - 2036

Asset ID	1184	3 ea	@ \$850.00
Category	Pool	Asset Actual Cost	\$2,550.00
Placed in Service	December 2006	Percent Replacement	100%
Useful Life	30	Future Cost	\$4,138.27
Replacement Year	2036	Assigned Reserves	\$1,615.00
Remaining Life	11	Monthly Assessment	\$10.73
		Interest Contribution	<u>\$0.01</u>
		Reserve Allocation	\$10.74

**Dana by The Sea
Detail Report by Category**

Security - Utility Doors; Replacement continued...



This component is for the replacement of the utility doors of the pool building. At the time of inspection, they showed no signs of damage or defect. Painting is provided for in another component.

Pool - Total Current Cost	\$52,521
Assigned Reserves	\$32,664
Fully Funded Reserves	\$34,014

**Dana by The Sea
Detail Report by Category**

Mailboxes - Cluster Box; Replacement - 2039

		2 ea	@ \$2,850.00
Asset ID	1048	Asset Actual Cost	\$5,700.00
	General	Percent Replacement	100%
Category	Mailboxes	Future Cost	\$10,556.09
Placed in Service	December 2009	Assigned Reserves	<i>none</i>
Useful Life	30		
Replacement Year	2039	Monthly Assessment	\$35.27
Remaining Life	14	Interest Contribution	<u>\$0.00</u>
		Reserve Allocation	\$35.27



This is to replace the cluster mailbox containing 12 boxes and 1 parcel locker & the cluster mailbox containing 13 boxes and 1 parcel locker. Locks and hinges should be lubricated seasonally, or as found necessary. At the time of inspection, the mailboxes appeared to be in fair condition, without major signs of surface rust, dents, excessive wear, warping, or vandalism.

Mailboxes - Total Current Cost	\$5,700
Assigned Reserves	\$0
Fully Funded Reserves	\$3,040

**Dana by The Sea
Detail Report by Category**

Equipment - Fire System; Upgrades & Repairs - 2031

		1 LS	@ \$15,000.00
Asset ID	1154	Asset Actual Cost	\$15,000.00
	General	Percent Replacement	100%
Category	Fire Protection	Future Cost	\$19,533.90
Placed in Service	December 2011	Assigned Reserves	\$10,500.00
Useful Life	20		
Replacement Year	2031	Monthly Assessment	\$70.42
Remaining Life	6	Interest Contribution	<u>\$0.07</u>
		Reserve Allocation	\$70.48



At the time of inspection the fire alarm system looks in good condition. This reserve funding is for any needed upgrades & repairs to this system.

Fire Protection - Total Current Cost	\$15,000
Assigned Reserves	\$10,500
Fully Funded Reserves	\$10,500

**Dana by The Sea
Detail Report by Category**

Contingency - Balcony Inspections; SB 326 - 2032

		1 LS	@ \$18,750.00
Asset ID	1128	Asset Actual Cost	\$18,750.00
	General	Percent Replacement	100%
Category	Contingency	Future Cost	\$25,516.16
Placed in Service	June 2024	Assigned Reserves	\$4,166.67
Useful Life	9		
Replacement Year	2032	Monthly Assessment	\$142.69
Remaining Life	7	Interest Contribution	<u>\$0.03</u>
		Reserve Allocation	\$142.73



As required by Senate Bill No. 326 - Exterior Elevated Elements such as the (Balconies and/or Stairs) are subject to Inspection. More specifically, the first inspection is required to be done by end of year 2024. Then every (9) nine years thereafter.

*SB326 Investigation Final Report dated 06/12/2024.

Contingency - Total Current Cost	\$18,750
Assigned Reserves	\$4,167
Fully Funded Reserves	\$4,167

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
Replacement Year 2025	
Paving	
Paving - Concrete Walks; Maintenance & Repairs	2,920
Roofing	
Roof - Maintenance & Inspections	6,000
Painting	
Painting - Gates, Fencing, & Railings; Metal & Wood	14,067
Painting - Post Light Fixtures; Metal	1,250
Fencing/Security	
Fencing - Retaining Wall; Maintenance & Repairs	2,500
Garage	
Painting - Vehicle Gate; Wrought Iron	2,565
Pool	
Painting - Bldg. Exteriors; Plank Siding & Trim	1,595
Painting - Doors; Wood	315
Paving - Deck; Maintenance & Repairs	2,267
Total for 2025	<u>\$33,479</u>
 <i>No Replacement in 2026</i>	
Replacement Year 2027	
Roofing	
Roof - Alta Vista Canopy; Replacement	5,460
Painting	
Painting - Building Exteriors; Stucco	59,926
Building Components	
Building - Deck; Maintenance & Repairs	31,106
Grounds Components	
Landscape - Irrigation System; Replacement	5,460
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	3,767
Roof - Pool Canopy; Replacement	5,460
Total for 2027	<u>\$111,180</u>
 Replacement Year 2028	
Paving	
Paving - Asphalt; Slurry Seal & Repairs	9,424

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2028 continued...</i>	
Painting	
Painting - Building Exteriors; Plank Siding & Trim	202,520
Building Components	
Building Exteriors - Siding & Trim; Repairs/Replacement	45,730
Total for 2028	<u>\$257,674</u>
 Replacement Year 2029	
Building Components	
Building - Patio Deck; Maintenance & Repairs	11,913
Fencing/Security	
Fencing - Keypad/Intercom; Replacement	2,862
Grounds Components	
Landscape - Replenishment	7,751
Pool	
Equipment - Hand Rail; Replacement	4,621
Paving - Resurfacing; Maintenance & Repairs	30,883
Total for 2029	<u>\$58,031</u>
 Replacement Year 2030	
Roofing	
Roof - Maintenance & Inspections	7,477
Grounds Components	
Landscape - Backflow Preventer; Replacement	4,486
Garage	
Painting - Bollards; Concrete	2,492
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	4,299
Total for 2030	<u>\$18,755</u>
 Replacement Year 2031	
Painting	
Painting - Doors; Wood	3,581
Garage	
Equipment - Elevator; Cab Refurbishment	9,441

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2031 continued...</i>	
Fire Protection	
Equipment - Fire System; Upgrades & Repairs	19,534
Total for 2031	<u>\$32,557</u>
 Replacement Year 2032	
Painting	
Painting - Gates, Fencing, & Railings; Metal & Wood	19,143
Painting - Post Light Fixtures; Metal	1,701
Building Components	
Building - Deck; Maintenance & Repairs	38,764
Grounds Components	
Landscape - Irrigation System; Replacement	6,804
Garage	
Painting - Vehicle Gate; Wrought Iron	3,491
Painting - Walls & Ceiling; CMU Block	59,177
Pool	
Painting - Bldg. Exteriors; Plank Siding & Trim	2,171
Painting - Doors; Wood	429
Paving - Deck; Maintenance & Repairs	3,085
Contingency	
Contingency - Balcony Inspections; SB 326	25,516
Total for 2032	<u>\$160,281</u>
 Replacement Year 2033	
Paving	
Paving - Asphalt; Slurry Seal & Repairs	11,744
Garage	
Fencing - Operator/Motor; Replacement	10,666
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	4,906
Total for 2033	<u>\$27,316</u>
 Replacement Year 2034	
Paving	
Paving - Brick Pavers; Maintenance & Repairs	2,122

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2034 continued...</i>	
Paving - Concrete Drive; Maintenance & Repairs	6,899
Painting	
Painting - Building Exteriors; Stucco	81,551
Building Components	
Building - Patio Deck; Maintenance & Repairs	14,846
Fencing/Security	
Fencing - Masonry Wall; Maintenance & Repairs	3,715
Grounds Components	
Landscape - Replenishment	9,660
Total for 2034	\$118,793
 Replacement Year 2035	
Paving	
Paving - Concrete Walks; Maintenance & Repairs	4,535
Roofing	
Roof - Maintenance & Inspections	9,318
Fencing/Security	
Fencing - Retaining Wall; Maintenance & Repairs	3,882
Total for 2035	\$17,736
 Replacement Year 2036	
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	5,599
Security - Utility Doors; Replacement	4,138
Total for 2036	\$9,737
 Replacement Year 2037	
Building Components	
Building - Deck; Maintenance & Repairs	48,307
Grounds Components	
Landscape - Irrigation System; Replacement	8,479
Total for 2037	\$56,787
 Replacement Year 2038	
Paving	
Paving - Asphalt; Overlay & Replacement	48,785

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2038 continued...</i>	
Paving - Asphalt; Slurry Seal & Repairs	14,636
Painting	
Painting - Building Exteriors; Plank Siding & Trim	314,507
Painting - Doors; Wood	4,874
Building Components	
Building Exteriors - Siding & Trim; Repairs/Replacement	71,018
Total for 2038	<u>\$453,818</u>
 Replacement Year 2039	
Painting	
Painting - Gates, Fencing, & Railings; Metal & Wood	26,051
Painting - Post Light Fixtures; Metal	2,315
Building Components	
Building - Entry Pergola; Repairs & Replacement	12,038
Building - Patio Deck; Maintenance & Repairs	18,501
Grounds Components	
Landscape - Replenishment	12,038
Garage	
Painting - Vehicle Gate; Wrought Iron	4,750
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	6,389
Painting - Bldg. Exteriors; Plank Siding & Trim	2,954
Painting - Doors; Wood	583
Paving - Deck; Maintenance & Repairs	4,199
Mailboxes	
Mailboxes - Cluster Box; Replacement	10,556
Total for 2039	<u>\$100,373</u>
 Replacement Year 2040	
Roofing	
Roof - Flat Single-Ply; Replacement	370,680
Roof - Maintenance & Inspections	11,612
Fencing/Security	
Fencing - Gates, Fencing & Railings; Replacement	290,002

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2040 continued...</i>	
Lighting	
Lighting - Post Fixture; Replacement	23,223
Lighting - Wall Mounted Fixture; Replacement	11,128
Garage	
Lighting - Exit Sign; Replacement	1,693
Lighting - Round Fixture; Replacement	5,806
Pool	
Lighting - Wall Mounted Fixture; Replacement	726
Total for 2040	<u>\$714,870</u>
 Replacement Year 2041	
Painting	
Painting - Building Exteriors; Stucco	110,980
Contingency	
Contingency - Balcony Inspections; SB 326	37,919
Total for 2041	<u>\$148,899</u>
 Replacement Year 2042	
Roofing	
Roof - Alta Vista Canopy; Replacement	10,567
Building Components	
Building - Deck; Maintenance & Repairs	60,200
Grounds Components	
Landscape - Irrigation System; Replacement	10,567
Garage	
Painting - Bollards; Concrete	4,227
Painting - Walls & Ceiling; CMU Block	91,901
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	7,291
Roof - Pool Canopy; Replacement	10,567
Total for 2042	<u>\$195,319</u>
 Replacement Year 2043	
Paving	
Paving - Asphalt; Slurry Seal & Repairs	18,238

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2043 continued...</i>	
Garage	
Equipment - Elevator; Cab Refurbishment	16,011
Total for 2043	\$34,250
 Replacement Year 2044	
Paving	
Paving - Brick Pavers; Maintenance & Repairs	3,296
Paving - Concrete Drive; Maintenance & Repairs	10,714
Building Components	
Building - Patio Deck; Maintenance & Repairs	23,056
Fencing/Security	
Fencing - Masonry Wall; Maintenance & Repairs	5,770
Grounds Components	
Landscape - Replenishment	15,001
Pool	
Equipment - Hand Rail; Replacement	8,943
Paving - Resurfacing; Maintenance & Repairs	59,768
Total for 2044	\$126,547
 Replacement Year 2045	
Paving	
Paving - Concrete Walks; Maintenance & Repairs	7,043
Roofing	
Roof - Maintenance & Inspections	14,470
Painting	
Painting - Doors; Wood	6,632
Fencing/Security	
Fencing - Retaining Wall; Maintenance & Repairs	6,029
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	8,320
Total for 2045	\$42,495
 Replacement Year 2046	
Painting	
Painting - Gates, Fencing, & Railings; Metal & Wood	35,452

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2046 continued...</i>	
Painting - Post Light Fixtures; Metal	3,150
Garage	
Painting - Vehicle Gate; Wrought Iron	6,464
Pool	
Painting - Bldg. Exteriors; Plank Siding & Trim	4,020
Painting - Doors; Wood	794
Paving - Deck; Maintenance & Repairs	5,714
Total for 2046	\$55,594
Replacement Year 2047	
Building Components	
Building - Deck; Maintenance & Repairs	75,020
Grounds Components	
Landscape - Irrigation System; Replacement	13,168
Total for 2047	\$88,188
Replacement Year 2048	
Paving	
Paving - Asphalt; Slurry Seal & Repairs	22,728
Painting	
Painting - Building Exteriors; Plank Siding & Trim	488,419
Painting - Building Exteriors; Stucco	151,028
Building Components	
Building Exteriors - Siding & Trim; Repairs/Replacement	110,288
Garage	
Fencing - Operator/Motor; Replacement	20,641
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	9,495
Total for 2048	\$802,600
Replacement Year 2049	
Building Components	
Building - Patio Deck; Maintenance & Repairs	28,731
Fencing/Security	
Fencing - Keypad/Intercom; Replacement	6,902

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
<i>Replacement Year 2049 continued...</i>	
Grounds Components	
Landscape - Replenishment	18,694
Total for 2049	<u>\$54,328</u>
 Replacement Year 2050	
Roofing	
Roof - Comp. Shingle; Replacement	826,732
Roof - Maintenance & Inspections	18,033
Pool	
Roof - Comp. Shingle; Replacement	21,628
Contingency	
Contingency - Balcony Inspections; SB 326	56,352
Total for 2050	<u>\$922,744</u>
 Replacement Year 2051	
Garage	
Fencing - Vehicle Gate; Replacement	34,547
Security - Bollards; Replacement	37,688
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	10,835
Fire Protection	
Equipment - Fire System; Upgrades & Repairs	47,110
Total for 2051	<u>\$130,181</u>
 Replacement Year 2052	
Painting	
Painting - Doors; Wood	9,026
Building Components	
Building - Deck; Maintenance & Repairs	93,488
Grounds Components	
Landscape - Irrigation System; Replacement	16,410
Garage	
Painting - Walls & Ceiling; CMU Block	142,719
Total for 2052	<u>\$261,642</u>

**Dana by The Sea
Annual Expenditure Detail**

Description	Expenditures
Replacement Year 2053	
Paving	
Paving - Asphalt; Slurry Seal & Repairs	28,324
Painting	
Painting - Gates, Fencing, & Railings; Metal & Wood	48,245
Painting - Post Light Fixtures; Metal	4,287
Garage	
Painting - Vehicle Gate; Wrought Iron	8,797
Pool	
Painting - Bldg. Exteriors; Plank Siding & Trim	5,470
Painting - Doors; Wood	1,080
Paving - Deck; Maintenance & Repairs	7,775
Total for 2053	<u>\$103,979</u>
 Replacement Year 2054	
Paving	
Paving - Brick Pavers; Maintenance & Repairs	5,118
Paving - Concrete Drive; Maintenance & Repairs	16,639
Building Components	
Building - Entry Pergola; Repairs & Replacement	23,296
Building - Patio Deck; Maintenance & Repairs	35,805
Fencing/Security	
Fencing - Masonry Wall; Maintenance & Repairs	8,960
Grounds Components	
Landscape - Replenishment	23,296
Garage	
Painting - Bollards; Concrete	7,168
Pool	
Equipment - Mech. Equipment; Repairs & Replacement	12,365
Total for 2054	<u>\$132,647</u>

**Dana by The Sea
Spread Sheet**

Description	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
Paving										
Paving - Asphalt; Overlay & Replacement										
Paving - Asphalt; Slurry Seal & Repairs				9,424					11,744	
Paving - Brick Pavers; Maintenance & Repairs										2,122
Paving - Concrete Drive; Maintenance & Repairs										6,899
Paving - Concrete Walks; Maintenance & Repairs	2,920									
Paving Total:	2,920			9,424					11,744	9,021
Roofing										
Roof - Alta Vista Canopy; Replacement			5,460							
Roof - Comp. Shingle; Replacement										
Roof - Flat Single-Ply; Replacement										
Roof - Maintenance & Inspections	6,000					7,477				
Roofing Total:	6,000		5,460			7,477				
Painting										
Painting - Building Exteriors; Plank Siding & Trim				202,520						
Painting - Building Exteriors; Stucco			59,926							81,551
Painting - Doors; Wood							3,581			
Painting - Gates, Fencing, & Railings; Metal & Wo..	14,067							19,143		
Painting - Post Light Fixtures; Metal	1,250							1,701		
Painting Total:	15,317		59,926	202,520			3,581	20,844		81,551
Building Components										
Building - Deck; Maintenance & Repairs			31,106					38,764		
Building - Entry Pergola; Repairs & Replacement										
Building - Patio Deck; Maintenance & Repairs					11,913					14,846
Building Exteriors - Siding & Trim; Repairs/Replac..				45,730						
Building Components Total:			31,106	45,730	11,913			38,764		14,846
Fencing/Security										
Fencing - Gates, Fencing & Railings; Replacement										
Fencing - Keypad/Intercom; Replacement					2,862					
Fencing - Masonry Wall; Maintenance & Repairs										3,715
Fencing - Retaining Wall; Maintenance & Repairs	2,500									
Fencing/Security Total:	2,500				2,862					3,715

**Dana by The Sea
Spread Sheet**

Description	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
Lighting										
Lighting - Post Fixture; Replacement										
Lighting - Wall Mounted Fixture; Replacement										
Lighting Total:										
Grounds Components										
Landscape - Backflow Preventer; Replacement						4,486				
Landscape - Irrigation System; Replacement			5,460					6,804		
Landscape - Replenishment					7,751					9,660
Grounds Components Total:			5,460		7,751	4,486		6,804		9,660
Garage										
Equipment - Elevator; Cab Refurbishment							9,441			
Equipment - Elevator; Overhaul/ Modernize										
Fencing - Operator/Motor; Replacement									10,666	
Fencing - Vehicle Gate; Replacement										
Lighting - Exit Sign; Replacement										
Lighting - Round Fixture; Replacement										
Painting - Bollards; Concrete						2,492				
Painting - Vehicle Gate; Wrought Iron	2,565							3,491		
Painting - Walls & Ceiling; CMU Block								59,177		
Security - Bollards; Replacement										
Garage Total:	2,565					2,492	9,441	62,668	10,666	
Pool										
Equipment - Furnishings; Replacement	<i>Unfunded</i>									
Equipment - Hand Rail; Replacement					4,621					
Equipment - Mech. Equipment; Repairs & Replace..			3,767			4,299			4,906	
Lighting - Wall Mounted Fixture; Replacement										
Painting - Bldg. Exteriors; Plank Siding & Trim	1,595							2,171		
Painting - Doors; Wood	315							429		
Paving - Deck; Maintenance & Repairs	2,267							3,085		
Paving - Resurfacing; Maintenance & Repairs					30,883					
Roof - Comp. Shingle; Replacement										
Roof - Pool Canopy; Replacement			5,460							
Security - Utility Doors; Replacement										
Pool Total:	4,177		9,228		35,504	4,299		5,684	4,906	

**Dana by The Sea
Spread Sheet**

Description	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034
Mailboxes										
Mailboxes - Cluster Box; Replacement										
Mailboxes Total:										
Fire Protection										
Equipment - Fire System; Upgrades & Repairs							19,534			
Fire Protection Total:							19,534			
Contingency										
Contingency - Balcony Inspections; SB 326								25,516		
Contingency Total:								25,516		
Year Total:	33,479		111,180	257,674	58,031	18,755	32,557	160,281	27,316	118,793

**Dana by The Sea
Spread Sheet**

Description	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044
Paving										
Paving - Asphalt; Overlay & Replacement				48,785						
Paving - Asphalt; Slurry Seal & Repairs				14,636				18,238		
Paving - Brick Pavers; Maintenance & Repairs										3,296
Paving - Concrete Drive; Maintenance & Repairs										10,714
Paving - Concrete Walks; Maintenance & Repairs	4,535									
Paving Total:	4,535			63,421					18,238	14,010
Roofing										
Roof - Alta Vista Canopy; Replacement								10,567		
Roof - Comp. Shingle; Replacement										
Roof - Flat Single-Ply; Replacement						370,680				
Roof - Maintenance & Inspections	9,318					11,612				
Roofing Total:	9,318					382,292		10,567		
Painting										
Painting - Building Exteriors; Plank Siding & Trim				314,507						
Painting - Building Exteriors; Stucco							110,980			
Painting - Doors; Wood				4,874						
Painting - Gates, Fencing, & Railings; Metal & Wo..					26,051					
Painting - Post Light Fixtures; Metal					2,315					
Painting Total:				319,380	28,366		110,980			
Building Components										
Building - Deck; Maintenance & Repairs			48,307					60,200		
Building - Entry Pergola; Repairs & Replacement					12,038					
Building - Patio Deck; Maintenance & Repairs					18,501					23,056
Building Exteriors - Siding & Trim; Repairs/Replac..				71,018						
Building Components Total:			48,307	71,018	30,539			60,200		23,056
Fencing/Security										
Fencing - Gates, Fencing & Railings; Replacement						290,002				
Fencing - Keypad/Intercom; Replacement										
Fencing - Masonry Wall; Maintenance & Repairs										5,770
Fencing - Retaining Wall; Maintenance & Repairs	3,882									
Fencing/Security Total:	3,882					290,002				5,770

**Dana by The Sea
Spread Sheet**

Description	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044
Lighting										
Lighting - Post Fixture; Replacement						23,223				
Lighting - Wall Mounted Fixture; Replacement						11,128				
Lighting Total:						34,351				
Grounds Components										
Landscape - Backflow Preventer; Replacement										
Landscape - Irrigation System; Replacement			8,479					10,567		
Landscape - Replenishment					12,038					15,001
Grounds Components Total:			8,479		12,038			10,567		15,001
Garage										
Equipment - Elevator; Cab Refurbishment									16,011	
Equipment - Elevator; Overhaul/ Modernize										
Fencing - Operator/Motor; Replacement										
Fencing - Vehicle Gate; Replacement										
Lighting - Exit Sign; Replacement						1,693				
Lighting - Round Fixture; Replacement						5,806				
Painting - Bollards; Concrete								4,227		
Painting - Vehicle Gate; Wrought Iron					4,750					
Painting - Walls & Ceiling; CMU Block								91,901		
Security - Bollards; Replacement										
Garage Total:					4,750	7,499		96,127	16,011	
Pool										
Equipment - Furnishings; Replacement		<i>Unfunded</i>								
Equipment - Hand Rail; Replacement										8,943
Equipment - Mech. Equipment; Repairs & Replace..		5,599			6,389			7,291		
Lighting - Wall Mounted Fixture; Replacement						726				
Painting - Bldg. Exteriors; Plank Siding & Trim					2,954					
Painting - Doors; Wood					583					
Paving - Deck; Maintenance & Repairs					4,199					
Paving - Resurfacing; Maintenance & Repairs										59,768
Roof - Comp. Shingle; Replacement								10,567		
Roof - Pool Canopy; Replacement										
Security - Utility Doors; Replacement		4,138								
Pool Total:		9,737			14,125	726		17,858		68,711

**Dana by The Sea
Spread Sheet**

Description	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044
Mailboxes										
Mailboxes - Cluster Box; Replacement					10,556					
Mailboxes Total:					10,556					
Fire Protection										
Equipment - Fire System; Upgrades & Repairs										
Fire Protection Total:										
Contingency										
Contingency - Balcony Inspections; SB 326							37,919			
Contingency Total:							37,919			
Year Total:	17,736	9,737	56,787	453,818	100,373	714,870	148,899	195,319	34,250	126,547

**Dana by The Sea
Spread Sheet**

Description	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054
Paving										
Paving - Asphalt; Overlay & Replacement										
Paving - Asphalt; Slurry Seal & Repairs				22,728					28,324	
Paving - Brick Pavers; Maintenance & Repairs										5,118
Paving - Concrete Drive; Maintenance & Repairs										16,639
Paving - Concrete Walks; Maintenance & Repairs	7,043									
Paving Total:	7,043			22,728					28,324	21,757
Roofing										
Roof - Alta Vista Canopy; Replacement										
Roof - Comp. Shingle; Replacement						826,732				
Roof - Flat Single-Ply; Replacement										
Roof - Maintenance & Inspections	14,470									18,033
Roofing Total:	14,470					844,765				
Painting										
Painting - Building Exteriors; Plank Siding & Trim				488,419						
Painting - Building Exteriors; Stucco				151,028						
Painting - Doors; Wood	6,632							9,026		
Painting - Gates, Fencing, & Railings; Metal & Wo..		35,452							48,245	
Painting - Post Light Fixtures; Metal		3,150							4,287	
Painting Total:	6,632	38,602		639,447				9,026	52,532	
Building Components										
Building - Deck; Maintenance & Repairs			75,020					93,488		
Building - Entry Pergola; Repairs & Replacement										23,296
Building - Patio Deck; Maintenance & Repairs					28,731					35,805
Building Exteriors - Siding & Trim; Repairs/Replac..				110,288						
Building Components Total:			75,020	110,288	28,731			93,488		59,101
Fencing/Security										
Fencing - Gates, Fencing & Railings; Replacement										
Fencing - Keypad/Intercom; Replacement					6,902					
Fencing - Masonry Wall; Maintenance & Repairs										8,960
Fencing - Retaining Wall; Maintenance & Repairs	6,029									
Fencing/Security Total:	6,029				6,902					8,960

**Dana by The Sea
Spread Sheet**

Description	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054
Lighting										
Lighting - Post Fixture; Replacement										
Lighting - Wall Mounted Fixture; Replacement										
Lighting Total:										
Grounds Components										
Landscape - Backflow Preventer; Replacement										
Landscape - Irrigation System; Replacement			13,168					16,410		
Landscape - Replenishment					18,694					23,296
Grounds Components Total:			13,168		18,694			16,410		23,296
Garage										
Equipment - Elevator; Cab Refurbishment										
Equipment - Elevator; Overhaul/ Modernize										
Fencing - Operator/Motor; Replacement				20,641						
Fencing - Vehicle Gate; Replacement							34,547			
Lighting - Exit Sign; Replacement										
Lighting - Round Fixture; Replacement										
Painting - Bollards; Concrete										7,168
Painting - Vehicle Gate; Wrought Iron		6,464							8,797	
Painting - Walls & Ceiling; CMU Block								142,719		
Security - Bollards; Replacement							37,688			
Garage Total:		6,464		20,641			72,236	142,719	8,797	7,168
Pool										
Equipment - Furnishings; Replacement										
Equipment - Hand Rail; Replacement										
Equipment - Mech. Equipment; Repairs & Replace..	8,320			9,495			10,835			12,365
Lighting - Wall Mounted Fixture; Replacement										
Painting - Bldg. Exteriors; Plank Siding & Trim		4,020							5,470	
Painting - Doors; Wood		794							1,080	
Paving - Deck; Maintenance & Repairs		5,714							7,775	
Paving - Resurfacing; Maintenance & Repairs										
Roof - Comp. Shingle; Replacement						21,628				
Roof - Pool Canopy; Replacement										
Security - Utility Doors; Replacement										
Pool Total:	8,320	10,527		9,495		21,628	10,835		14,326	12,365

**Dana by The Sea
Spread Sheet**

Description	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054
Mailboxes										
Mailboxes - Cluster Box; Replacement										
Mailboxes Total:										
Fire Protection										
Equipment - Fire System; Upgrades & Repairs							47,110			
Fire Protection Total:							47,110			
Contingency										
Contingency - Balcony Inspections; SB 326						56,352				
Contingency Total:						56,352				
Year Total:	42,495	55,594	88,188	802,600	54,328	922,744	130,181	261,642	103,979	132,647

Important Information

This document has been provided pursuant to an agreement containing restrictions on its use. No part of this document may be copied or distributed, in any form or by any means, nor disclosed to third parties without the expressed written permission of California Builder Services. The client shall have the right to reproduce and distribute copies of this report, or the information contained within, as may be required for compliance with all applicable regulations.

This reserve analysis study and the parameters under which it has been completed are based upon information provided to us in part by representatives of the association, its contractors, assorted vendors, specialist and independent contractors, the Community Association Institute, and various construction pricing and scheduling manuals including, but not limited to: Marshall & Swift Valuation Service, RS Means Facilities Maintenance & Repair Cost Data, RS Means Repair & Remodeling Cost Data, National Construction Estimator, National Repair & Remodel Estimator, Dodge Cost Manual, McGraw-Hill Professional, and the Operating Cost Manual by the California Bureau of Real Estate. Additionally, costs are obtained from numerous vendor catalogues, actual quotations or historical costs, and our own experience in the field of building design, HOA Budget preparation, Public Report processing, and reserve study preparation.

It has been assumed, unless otherwise noted in this report, that all assets have been designed and constructed properly and that each estimated useful life will approximate that of the norm per industry standards and/or manufacturer's specifications. In some cases, estimates may have been used on assets, which have an indeterminable but potential liability to the association. The decision for the inclusion of these as well as all assets considered is left to the client.

We recommend that your reserve analysis study be updated on an annual basis due to fluctuating interest rates, inflationary changes, and the unpredictable nature of the lives of many of the assets under consideration. All of the information collected during our inspection of the association and computations made subsequently in preparing this reserve analysis study are retained in our computer files. Therefore, annual updates may be completed quickly and inexpensively each year.

California Builder Services would like to thank you for using our services. We invite you to call us at any time, should you have questions, comments or need assistance. In addition, any of the parameters and estimates used in this study may be changed at your request, after which we will provide a revised study. Collaboration with the customer and the Association is vital to the accuracy and effectiveness of this study.

This reserve analysis study is provided as an aid for planning purposes and not as an accounting tool. Since it deals with events yet to take place, there is no assurance that the results enumerated within it will, in fact, occur as described.

Part III

Introduction

Preparing the annual budget and overseeing the association's finances are perhaps the most important responsibilities of board members. The annual operating and reserve budgets reflect the planning and goals of the association and set the level and quality of service for all of the association's activities.

The Reserve Study: A Physical and a Financial Analysis

There are two components of a reserve study: a *physical analysis* and a *financial analysis*.

- **Physical Analysis:**

During the physical analysis, a reserve study provider evaluates information regarding the physical status and repair/replacement costs of the association's major common area components. To do so, the provider conducts a component inventory, a condition assessment, and life and valuation estimates.

This assessment does not include destructive testing, unless otherwise noted. Furthermore, field measurements are taken at the time of the site inspection along with review and measurement take-offs based on building and site plans, among others. The determination of whether an expense should be labeled as operational, reserve, or excluded altogether is sometimes subjective. Since this labeling may have a major impact on the financial plans of the association, subjective determinations should be minimized. We suggest the following considerations when labeling an expense.

Operational Expenses: Operational expenses are expenses that typically occur monthly or quarterly and sometimes annually, no matter how large the expense, and can be budgeted for effectively each year. They are characterized as being reasonably predictable, both in terms of frequency and cost. Operational expenses include all minor expenses, which would not otherwise adversely affect an operational budget from one year to the next.

Reserve Expenses: Reserve Expenses are the major expenses that occur *other than annually*, and which must be budgeted for in advance in order to ensure the availability of the necessary funds in time for their use. Reserve expenses are reasonably predictable both in terms of frequency and cost. However, they may include significant assets that have an indeterminable but potential liability that may be demonstrated as a likely occurrence. They are expenses that, when incurred, would have a significant effect on the smooth operation of the budgetary process from one year to the next, if they were not reserved for in advance.

Items not usually included in the Reserve Calculations:

Repairs or replacements of assets which are deemed to have an estimated useful life equal to or exceeding the estimated useful life of the facility or community itself, or exceeding the legal life of the community as defined in an association's governing documents. Examples include the complete replacement of elevators, tile roofs, wiring and plumbing. Also excluded are insignificant expenses that may be covered either by an operating or reserve contingency, or otherwise in a general maintenance fund. Expenses that are necessitated by acts of nature, accidents or other occurrences that are more properly insured for, rather than reserved for, are also excluded.

- **Financial Analysis**

The financial analysis assesses the association's reserve balance or "fund status" (measured in cash or as percent fully funded) to determine a recommendation for the appropriate reserve contribution rate in the future, known as the "funding plan." The Financial Analysis takes into account the balance of the reserve fund in cash or cash equivalents, investment yields, and inflation rate.

Preparing the Reserve Study

Once the reserve assets have been identified and quantified, their respective replacement costs, useful lives and remaining lives must be assigned so that a funding schedule can be constructed. Replacement costs and useful lives can be found in published manuals such as construction estimators, appraisal handbooks, and valuation guides. Remaining lives are calculated from the useful lives and ages of assets and adjusted according to conditions such as design, manufactured quality, usage, exposure to the elements and maintenance history.

Funding Methods

From the simplest to the most complex, reserve analysis providers use many different computational processes to calculate reserve requirements. However, there are two basic processes identified as industry standards: the cash flow method and the component method.

The **cash flow method** develops a reserve-funding plan where contributions to the reserve fund are designed to offset the variable annual expenditures from the reserve fund. Different reserve funding plans are tested against the actual anticipated schedule of reserve expenses until the desired funding goal is achieved. This method sets up a “window” in which all future anticipated replacement costs are computed, based upon the individual lives of the components under consideration. The **Threshold** and the **Current Assessment** funding models are based upon the cash flow method.

The **component method** develops a reserve-funding plan where the total contribution is based upon the sum of contributions for individual components. The component method is the more conservative of the two funding options, and assures that the association will achieve and maintain an ideal level of reserve over time. This method also allows for computations on individual components in the analysis. The Component Funding model is based upon the component methodology.

Funding Strategies

There are four basic strategies from which most associations select. It is recommended that associations consult professionals to determine the best strategy or combination of plans that best suit the association’s need. Additionally, associations should consult with their financial advisor to determine the tax implications of selecting a particular plan. Further, consultation with the American Institute of Certified Public Accountants (AICPA) for their reporting requirements is advisable. The four funding plans and descriptions of each are detailed below:

Full Funding--Given that the basis of funding for reserves is to distribute the costs of the replacements over the lives of the components in question, it follows that the ideal level of reserves would be proportionately related to those lives and costs. If an association has a component with an expected estimated useful life of ten years, it would set aside approximately one-tenth of the replacement cost each year. At the end of three years, one would expect three-tenths of the replacement cost to have accumulated, and if so, that component would be “fully-funded.” This model is important in that it is a measure of the adequacy of an association’s reserves at any one point of time, and is independent of any particular method which may have been used for past funding or may be under consideration for future funding. This formula represents a snapshot in time and is based upon current replacement cost, independent of future inflationary or investment factors:

Fully Funded Reserves = (Age/Useful Life) x Current Replacement Cost

When an association’s total accumulated reserves for all components meet this criterion, its reserves are considered “fully-funded.”

The **Current Assessment Funding Model**. This method is also based upon the cash flow funding concept. The initial reserve assessment is set at the association’s current fiscal year funding level and a 30-year projection is calculated to illustrate the adequacy of the current funding over time.

The **Component Funding Model**. This is a straight-line funding model. It distributes the cash reserves to individual reserve components and then calculates what the reserve assessment and interest contribution (minus taxes) should be, again by each reserve component. The current annual assessment is then determined by summing all the individual

component assessments, hence the name “Component Funding Model”. This is the most conservative funding model. It leads to or maintains the fully funded reserve position. The following details this calculation process.

Definitions

Annual Assessment Increase

This represents the percentage rate at which the association will increase its assessment to reserves at the end of each year. For example, in order to accumulate \$10,000 in 10 years, you could set aside \$1,000 per year. As an alternative, you could set aside \$795 the first year and increase that amount by 5% each year until the year of replacement. In either case you arrive at the same amount. The idea is that you start setting aside a lower amount and increase that number each year in accordance with the planned percentage. Ideally this figure should be greater than or equal to the rate of inflation. It can, however, be used to aide those associations that have not set aside appropriate reserves in the past, by making the initial year’s allocation less formidable.

Investment Yield Before Taxes

The average interest rate anticipated by the association based upon its current investment practices.

Projected Reserve Balance

The anticipated reserve balance on the first day of the fiscal year for which this report has been prepared. This is based upon information provided and not audited.

Percent Fully Funded

The ratio, at the beginning of the fiscal year, of the actual (or projected) reserve balance to the calculated fully funded balance, expressed as a percentage.

Total Monthly Allocation

The sum of the monthly assessment and interest contribution figures.

Group and Category

The report may be prepared and sorted either by group (location, building, phase, etc.) or by category (roofing, painting, etc.). The standard report printing format is by category.

Percentage of Replacement or Repairs

In some cases, an asset may not be replaced in its entirety or the cost may be shared with a second party. Examples are budgeting for a percentage of replacement of streets over a period of time, or sharing the expense to replace a common wall with a neighboring party.

Placed-In-Service Date

The month and year that the asset was placed-in-service. This may be the construction date, the first escrow closure date in a given phase, or the date of the last servicing or replacement.

Estimated Useful Life

The estimated useful life of an asset based upon industry standards, manufacturer specifications, visual inspection, location, usage, association standards, and prior history, among other methods. All of these factors are taken into consideration when tailoring the estimated useful life to the particular asset. For example, the carpeting in a hallway or elevator (a heavy traffic area) will not have the same life as the identical carpeting in a seldom-used meeting room or office.

Adjustment to Useful Life

Once the useful life is determined, it may be adjusted, up or down, by this separate figure for the current cycle of replacement. This will allow for a current period adjustment without affecting the estimated replacement cycles for future replacements.

Estimated Remaining Life

This calculation is completed internally based upon the report’s fiscal year date and the date the asset was placed-in-service.

Replacement Year

The year that the asset is scheduled to be replaced. The appropriate funds will be available by the first day of the fiscal year for which replacement is anticipated.

Fixed Assessment

An optional figure which, if used, will override all calculations and set the assessment at this amount. This assessment can be set for monthly, quarterly or annually as necessary.

One-Time Replacement

Notation if the asset is to be replaced on a one-time basis.

Current Replacement Cost

The estimated replacement cost effective at the beginning of the fiscal year for which the report is being prepared.

Future Replacement Cost

The estimated cost to repair or replace the asset at the end of its estimated useful life based upon the current replacement cost and inflation.

Supplemental Disclosures

General

CBS has no other involvement(s) with the Association which could result in actual or perceived conflicts of interest.

California Builder Services Credentials

With over half a century of combined experience in working with the Bureau of Real Estate's investigators as well as new home design, California Builder Services has the experience to accurately and efficiently complete reserve studies on all types and sizes of developments. We are acutely experienced in the application and use of reserve studies, as we have created thousands of homeowner association budgets, all of which have been reviewed and approved by the Bureau of Real Estate's investigators.

This Reserve Study was prepared by, or under the direct supervision of, a Community Associations Institute credentialed Reserve Specialist.

Completeness

CBS has found no material issues which, if not disclosed, would cause a distortion of the association's situation.

Reliance on Client Data

Information provided by the official representative of the association regarding financial, physical, quantity, or historical issues will be deemed reliable by CBS.

Scope

This Reserve Study is a reflection of information provided to CBS and assembled for the association's use, not for the purpose of performing an audit, quality/forensic analyses, or background checks of historical records.

Reserve Balance

The actual or projected total presented in the Reserve Study is based upon information provided and was not audited.

Reserve Projects

Information provided about reserve projects will be considered reliable. Any on-site inspection should not be considered a project audit or quality inspection.